

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: June 23, 2005

ITEM NO. 8

CASE NUMBER/ PROJECT NAME	22-DR-2005 Advanced Health Care		
LOCATION	9846 N 95th Street (Lots 2 – 4, Ironwood Square)		
REQUEST	Request approval of a site plan and revised elevations for a new medical rehabilitation facility.		
OWNER	Mountain West Enterprise 435-657-1400	ENGINEER	D & M Engineering 480-350-9590
ARCHITECT/ DESIGNER	Gould Evans Associates 801-532-6100	APPLICANT/ COORDINATOR	Bruce Heywood Heywood Enterprises 801-209-4440

BACKGROUND

Zoning.

The subject property is currently zoned Commercial Office District (C-O) . This zone district is intended to provide an environment desirable for and conducive to office and related uses in a manner that provides a transition between the commercial core and residential districts.

Context.

The site is generally located on the west side of N. 95th Street, between Ironwood Court and Mountain View Drive within the Ironwood Square development. Surrounding property is developed for offices, except to the west, which is used for a church. The majority of the surrounding property is zoned C-O. A multi-family residential development is located south of Mountain View Road. Single-family homes are located east of 96th Street, within Scottsdale Ranch.

Adjacent Uses:

- North: C-O (Commercial Office)
- South: R-5 (PCD) Multi-family beyond C-O
- East: R-5 (PCD) Multi-family/single family beyond C-O
- West: C-O (Commercial Office)

APPLICANT'S PROPOSAL

Applicant's Request.

This project includes a 28,900 square foot single-story structure that will function as a transitional rehabilitation facility. The facility will have 38 private patient suites arranged in two wings, centrally located around facilities for therapy, dining and administration. The short-term rehabilitation facility includes doctors and nurses, but no emergency care. Exterior patios have been incorporated into the design with site walls buffering the building from parking areas and pedestrian walkways along 95th Street.

This item was continued at the June 9, 2005 Development Review Board hearing to this date to afford the applicant an opportunity to incorporate the concerns of Board members regarding the “Scottsdale” character of the proposed building. The revisions made to the design, and included herein as **Attachment 5** (site plan) and **Attachment 6** (building elevations), attempt to reflect a more “southwest aesthetic” according to the revised narrative.

Changes made to the design presented on June 9, 2005 include:

- ✓ *Increased height and widths of certain building walls now revised to extend above the roof line;*
- ✓ *Addition of recessed windows*
- ✓ *Change of roofing material from dark colored concrete shingle to light gray standing seam metal*

The building is situated in a manner that affords shared access with the project immediately adjoining it to the south. All on-site landscaping will comply with the Ironwood Square Design Guidelines and City of Scottsdale Design Standards and Policy Manual.

Development Information:

- Existing Use: Vacant land
- Proposed Use: One-story building
- Parcel Size: 90,337 square feet
- Building Size: 28,900 square feet
- Building Height Required/Proposed: 36 feet / 32 feet
- Parking Required/Provided: 38 spaces / 38 spaces
- Open Space Required/Provided: 26,640 sq. ft. / 37,320 sq. ft.
- FAR: 0.60 (60% of 90,337 sq. ft. = 28,848 sq. ft.)
- Number of Units: N/A
- Density:* N/A

*For Residential Only

DISCUSSION

Staff supports the proposed changes to the design and believes this project would be a positive addition to Ironwood Village.

KEY ISSUES

There are no key issues associated with this request that have not been addressed in stipulations of approval.

OTHER BOARDS AND COMMISSIONS

This project was approved for a Use Permit by City Council on February 8, 2005 (22-UP-2004).

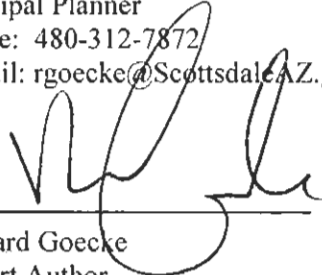
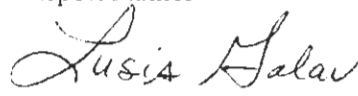
STAFF
RECOMMENDATION

Staff recommends approval, subject to the attached stipulations.

STAFF CONTACT(S)

Richard Goecke
Principal Planner
Phone: 480-312-7872
E-mail: rgoecke@ScottsdaleAZ.gov

APPROVED BY


Richard Goecke
Report Author
Lusia Galav, AICP
Development Planning Manager
Phone: 480-312-2506
E-mail: lgalav@scottsdaleAZ.gov

ATTACHMENTS

1. Applicant's Narrative
- 1A. Applicant's response to DRB/Staff comments for 2/24/05 hearing
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Landscape Plan
6. Elevations
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements



Project Narrative

This document will be uploaded to a Case Fact Sheet on the City's web site.

Date: 8-24-04

Project No.: 198 - PA - 2004

Coordinator: Suzanne Colver

Case No.: 22-DR-2005

Project Name: Advanced Health Care

03/18/05

Project Location: 9846 No. 95th St. Lots 2-4, Ironwood Square
95th St. Mtn. View, Scottsdale, AZ

Property Details:

☐ Single-Family Residential ☐ Multi-Family Residential ☒ Commercial ☐ Industrial

Current Zoning: C-0 Proposed Zoning: C-0

Number of Buildings: 1 Parcel Size: 2.289 acres gross

Gross Floor Area/Total Units: 28,329 Floor Area Ratio/Density: 28.41%

Parking Required: 38 stalls Parking Provided: 43 stalls

Setbacks: N - S - E - W -

Description of Request:

This request for a use permit ~~is to~~ develop approximately 28,000 sq. ft. of medical space on a vacant parcel north of Mountain View & West of 95th St. The proposed plan located on the Ironwood Square Development provides for one single story medical rehabilitation facility.

The site is bounded on the west by a church, on the north, east & south by medical professional office condominiums.

Primary access to the site will come from the south on Mountain View to 95th St. from the east from 96th St. into the Ironwood Square.

AHC of Scottsdale will use this facility for 24 hour sub-acute rehabilitation Services including physical therapy, occupational therapy and speech therapy.

Planning and Development Services Department

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088

Memorandum | GouldEvans

1000 South Main Street, Suite 100, Salt Lake City, Utah 84101 t 801.532.6100 f 801.532.6102

To: City of Scottsdale
Attn: Richard Goecke
From: Rob White
Date: May 10, 2005
Project: Advanced Health Care,
Scottsdale Facility
Cc: Bruce Heywood, Suzanne Colver
Project No.: 0902.0295
Subject: Staff Comments Narrative

Dear Richard:

This memo is in reference to the architectural development of the Advanced Health Care project, 22-DR-2005. It is our desire to address the comments from the DRB Study Session as well as the observations by the Planning Staff as documented in the attached email from Suzanne Colver for the betterment of our project.

The elevation drawings as submitted by Bruce Heywood on Friday May 6, 2005 have been revised to include details inspired from Frank Lloyd Wright's Susan Lawrence Dana House, the Ward W. Willits House, and the Frederick C. Robie House. The following modifications were made to the building elevations:

- The roof pitch was lowered from a 4/12 to a 3/12.
- The northern and southern most roof lines were changed from a gable to a hip configuration.
- The roof overhangs were extended.
- Much of the clerestory glass has been deeply recessed into the building.
- Building mass was added between the clerestory glass elements.
- Columns, canopy supports, and the fireplace were given more mass.
- The clerestory elements at each patient wing were combined and organized symmetrically with elements near the base of the building.
- Planter boxes were added to the wall of the building.
- A heavier "base" was incorporated into the design at key locations.
- The constant wainscot was removed.
- The building colors have been modified to have more contrast and richness to them.

If you should have any further questions as to the development of this project, please do not hesitate to contact me.

Sincerely,

Rob White, AIA

To: City of Scottsdale
Attn: Richard Goecke
From: Rob White
Date: May 26, 2005
Project: Advanced Health Care,
Scottsdale
Cc: Bruce Heywood
Suzanne Colver
Project No.: 0902.0295
Subject: 22-DR-2005, Building Height

Dear Richard:

The City of Scottsdale requirement for calculating building height is:

Building, height of shall mean the vertical distance measured from a point of reference elevation established twelve (12) inches above the average elevation at the top of the curb of the street or streets adjacent to the property, or to the top of the crown of the roadway or roadways, if there is no curb, to the highest point of the coping of a flat roof, or to the highest point of a mansard roof or to the highest gable of a pitch or hip roof. In cases where drainage considerations supersede this ordinance, the point of reference elevation would be subject to the approval of the city engineer.

The average elevation of the top of the curb along 95th Street is calculated by averaging curb shots along 95th Street:

$(1,366.71 + 1,366.34 + 1,366.27 + 1,366.19 + 1,365.88 + 1,365.63 + 1,365.43) / 7 = 1,366.06$

Point of reference elevation: $1,366.06 + 1 = 1367.06$

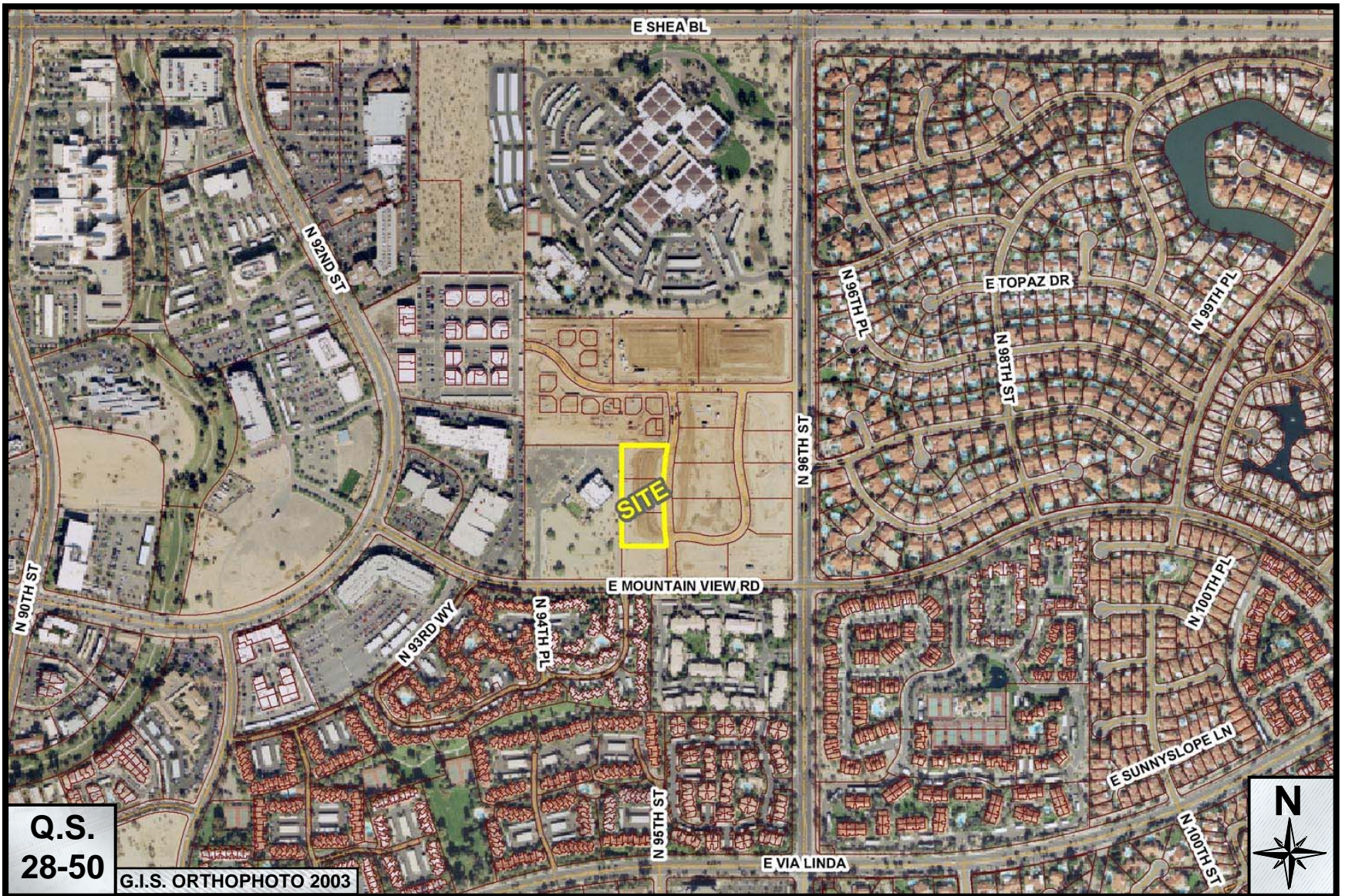
Finished Floor Elevation: **1,367.67**

Highest pitch of the roof: $28.67'$ above finish floor = $1367.67 + 28.67 = 1,396.34$

Building Height = $1,396.34 - 1,367.06 = 29.28$ feet

If you should have any questions or require further clarification, please do not hesitate to call.

Rob White, AIA



Advanced Healthcare

22-DR-2005

ATTACHMENT #2



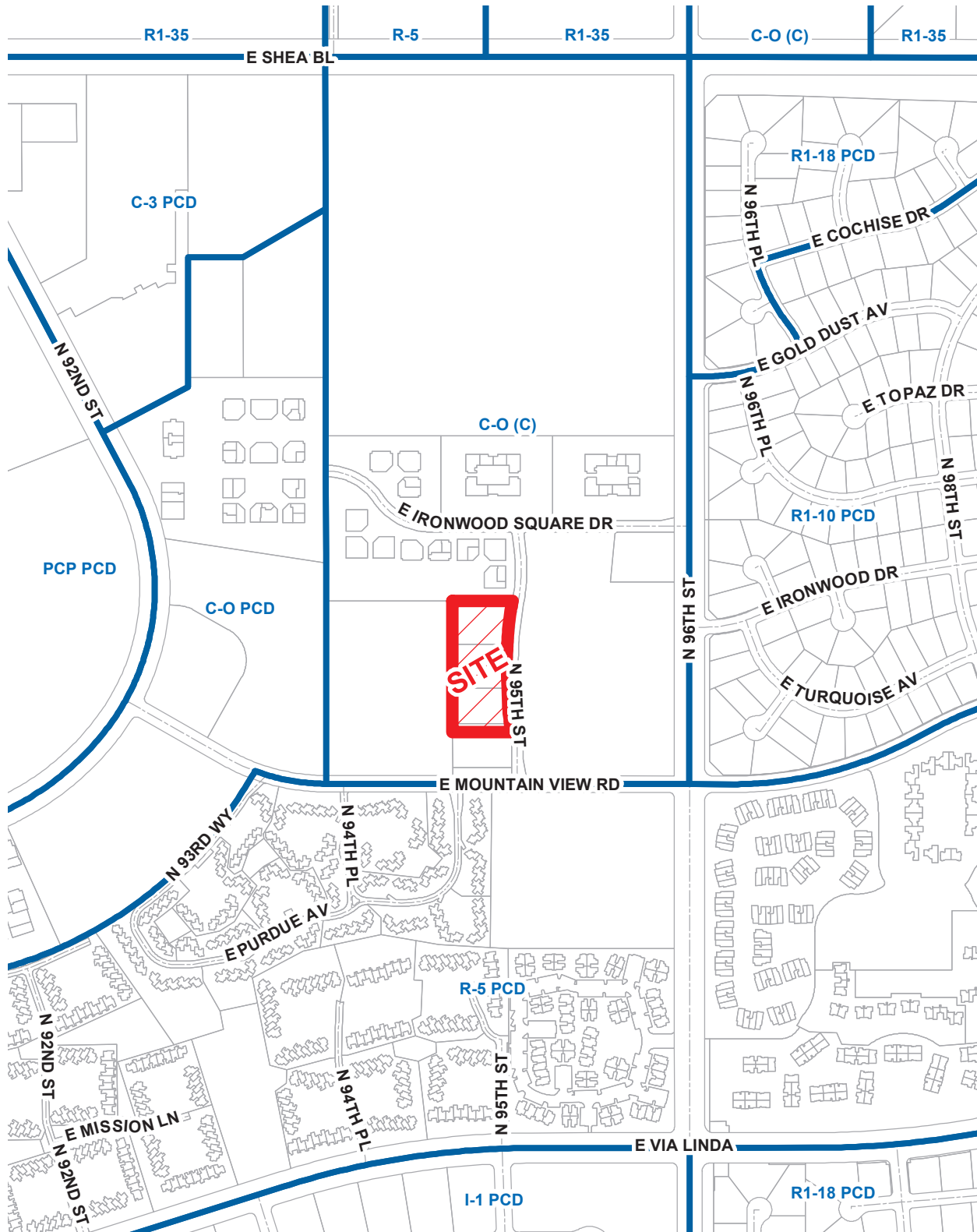
**Q.S.
28-50**

G.I.S. ORTHOPHOTO 2003

Advanced Healthcare

22-DR-2005

ATTACHMENT #2A



22-DR-2005

ATTACHMENT #3



Advanced Health
Care Transitional
Rehabilitation
Facility
Scottsdale
Building

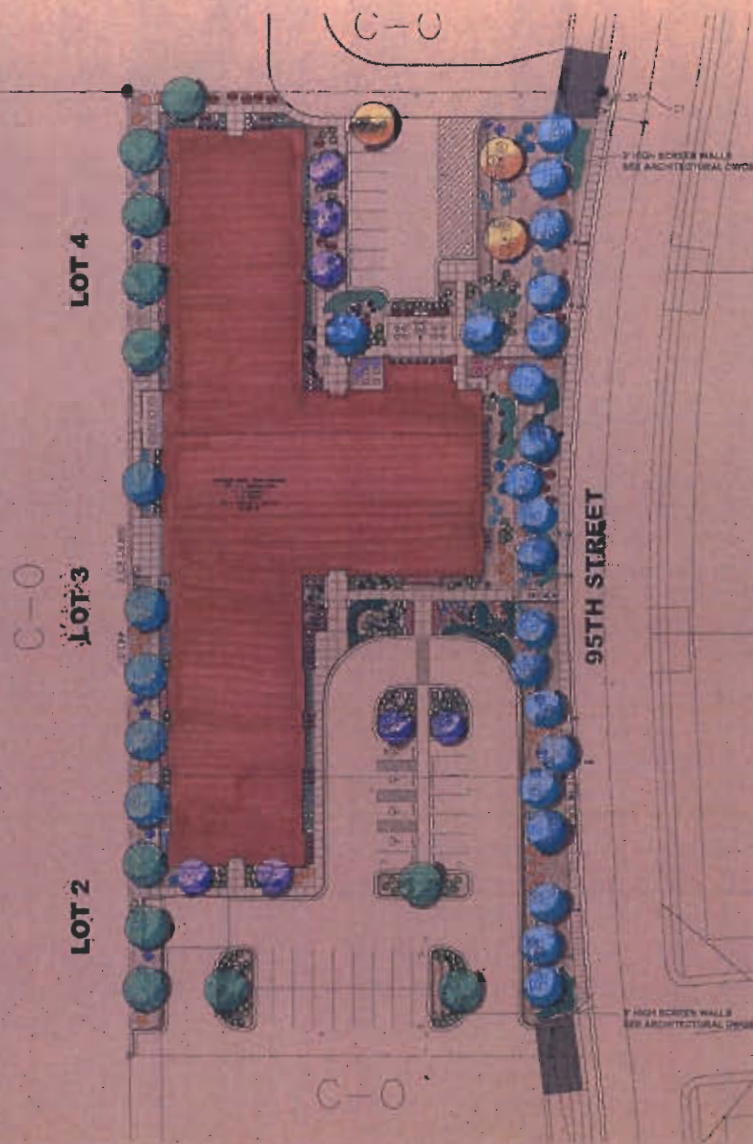
WILLIAMS & WILKINS
Publishers, 417 N. 10th St.

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22-DR-2005
REV: 06/14/2005

Fig. 2. *Phylogenetic relationships of the 12 studied species of the genus *Phyllanthus* based on the analysis of the chloroplast *trnK* gene. The scale bar represents 0.01 substitutions per site. The numbers at the nodes indicate the bootstrap values. The species names are given in the order of their appearance in the tree.*

Site Plan
A1.0
Development Review



LOT 21
C-0

LOT 20
C-0

LOT 19
C-0

LANDSCAPE SCHEDULE

Symbol	Quantity	Notes
TREES		
1" DBH	1	1" DBH x 10' H x 10' W
2" DBH	1	2" DBH x 10' H x 10' W
3" DBH	1	3" DBH x 10' H x 10' W
4" DBH	1	4" DBH x 10' H x 10' W
5" DBH	1	5" DBH x 10' H x 10' W
6" DBH	1	6" DBH x 10' H x 10' W
7" DBH	1	7" DBH x 10' H x 10' W
8" DBH	1	8" DBH x 10' H x 10' W
9" DBH	1	9" DBH x 10' H x 10' W
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67" DBH	1	67" DBH x 10' H x 10' W
68" DBH	1	68" DBH x 10' H x 10' W
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70" DBH	1	70" DBH x 10' H x 10' W
71" DBH	1	71" DBH x 10' H x 10' W
72" DBH	1	72" DBH x 10' H x 10' W
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96" DBH	1	96" DBH x 10' H x 10' W
97" DBH	1	97" DBH x 10' H x 10' W
98" DBH	1	98" DBH x 10' H x 10' W
99" DBH	1	99" DBH x 10' H x 10' W
100" DBH	1	100" DBH x 10' H x 10' W

LANDSCAPE PLAN CALCULATIONS
TAN PROPOSED 10' DBH
LANDSCAPE NOT IN THE APPROVED LOT
SINGLE LOT TOTAL 10' DBH

22-DR-2005
REV: 06/14/2005

CONCEPTUAL LANDSCAPE PLAN
SCALE: 1" = 20'-0"



Advanced
Health Care
Facility

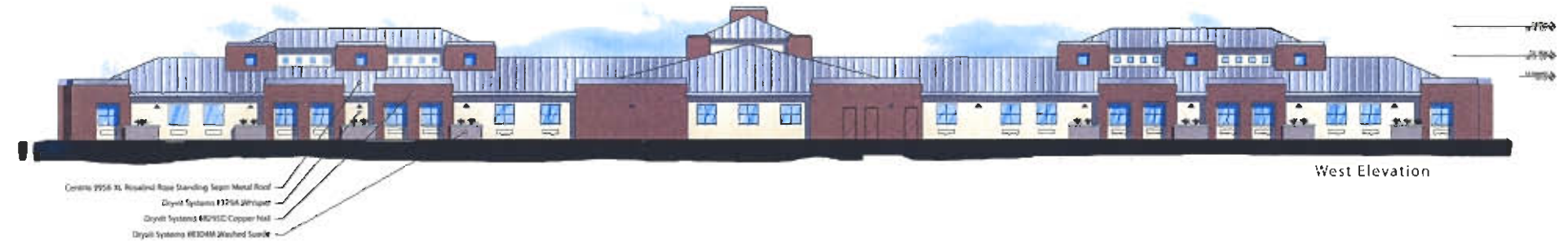
CITY OF SCOTTSDALE
ARIZONA

Sasmich
DiBella
Architects

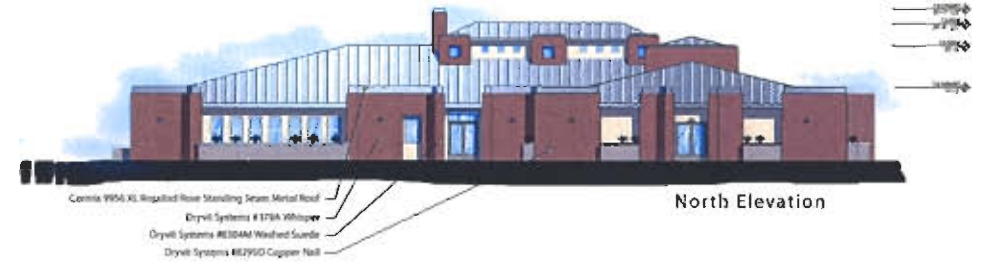


FOR SUBMITTAL, PLEASE
SUBMIT THE FOLLOWING:

MAY 05, 2005
PLANTING PLAN
L2



West Elevation



North Elevation



East Elevation



South Elevation

22-DR-2005
 REV: 06/14/2005

ATTACHMENT #6

Advanced Health Care
Transitional Rehabilitation
9846 N. 95th Street
Scottsdale, Arizona

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
- ☒ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.
AS SHOWN
- ☒ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
- ☐ 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.
- ☒ 5. PROVIDE A KNOX ACCESS SYSTEM:
 - ☒ A. KNOX BOX
 - ☐ B. PADLOCK
 - ☐ C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.
- ☒ 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.
- ☒ 7. SUBMIT PLANS FOR A CLASS _____ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.
- ☒ 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.
 (SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)
- ☐ 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. _____

- ☒ 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.
- ☒ 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
- ☒ 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☒ 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF _____ AT _____ GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
- ☒ 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____
- ☒ 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS _____
- ☒ 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC.
 A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.
- ☒ 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
- ☒ 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4 (NSHT)
 - ☐ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
 - ☐ WALL MOUNTED - 15' CLEAR OF OPENINGS.
- ☒ 19. ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK OF WALL, 18" ON EACH SIDE & 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3' INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.

20. ☐ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☐ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☒ C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.
- ☐ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.
- ☐ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.
- ☐ G.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

Stipulations for Case: Advanced Health Care Case 22-DR-2005

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by GouldEvans with a date provided on the plans by City staff of 6/14/2005.
 - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by GouldEvans with a date provided on the plans by City staff of 6/14/2005.
 - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by Land Group Landscape Architects with a date provided on the plans by City staff of 6/14/2005.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladders shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building(s) on the site in terms of color and texture.
8. Dooley wall fencing shall not be allowed.
9. All walls shall match the architectural color, materials and finish of the building(s).
10. Retention basins and drainage channels in required frontage open space shall not occupy more than 50% of the required frontage open space area.

Ordinance

- A. The applicant shall incorporate the building height analysis dated May 26, 2005 into the final plans submittal.

SITE DESIGN**DRB Stipulations**

11. Retention basins and drainage channels in required frontage open space shall not occupy more than 50% of the required frontage open space area. The applicant shall submit a detailed plan demonstrating compliance with the final plans submittal.

Ordinance

- B. A land assemblage map shall be approved and recorded prior to permit issuance.

OPEN SPACE:**Ordinance**

- C. The Open Space plan shall be revised to exclude structures from the calculations for the interior parking lot landscaping requirements.

LANDSCAPE DESIGN:**DRB Stipulations**

12. Upon removal of the salvageable native plants the salvage contractor shall submit a completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.
13. Cut and fill slopes shall be rounded to blend with the existing contours of the adjacent natural grades.

Ordinance

- D. Fifty percent of trees shall be mature, 3 single trunk or 1.5 average multi-trunk, as defined in Article III of the Zoning Ordinance
- E. The applicant shall provide additional landscape material so that the maximum area between trees, shrubs and ground cover limits does not exceed 7'-0" in accordance with the Zoning Ordinance.

EXTERIOR LIGHTING DESIGN:**DRB Stipulations**

14. All exterior luminaires shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign and parking lot canopy lighting.
15. The individual luminaire lamp shall not exceed 250 watts.
16. The maximum height from finished grade to the bottom of the any exterior luminaire shall not exceed 20 feet.
17. All exterior light poles, pole fixtures, and yokes shall be a flat black or dark bronze.
18. Incorporate into the project's design, the following:
- Parking Lot and Site Lighting:
- a. The maintained average horizontal illuminance level, at grade on the site, not including the gasoline canopy area, shall not exceed 2.0 foot-candles.
 - b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 8.0 foot-candles. All exterior luminaires shall be included in this calculation.

- c. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 0.8 foot-candles. All exterior luminaires shall be included in this calculation.

Building Mounted Lighting:

- d. All luminaires shall be recessed or shielded so the light source is not directly visible from property line.

Landscape Lighting

- e. All landscape lighting directed upward shall utilize the extension visor shields to limit the view of the lamp source.
- f. Landscaping lighting shall only be utilized to accent plant material.
- g. All landscape lighting directed upward, shall be aimed away from property line.
- h. The landscape lighting lamp shall be an incandescent or halogen incandescent source, and shall not exceed 50 watts.

VEHICULAR AND BICYCLE PARKING:

DRB Stipulations

- 19. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

Ordinance

- F. The developer shall provide bicycle parking in accordance with the Zoning ordinance (calculations).

ADDITIONAL PLANNING ITEMS:

DRB Stipulations

- 20. No exterior vending or display shall be allowed.
- 21. Flagpoles, if provided, shall be one piece, conical, and tapered.
- 22. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

RELEVANT CASES:

Ordinance

- G. At the time of review, the applicable DRB and Use Permit for the subject site were 26-UP-2004, 58-DR-2002 and 25-PP-2002.

ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

APPLICABLE DOCUMENTS AND PLANS:

- 23. Preliminary Grading Plan, dated 5/5/05, prepared by D&M Engineering, submitted with drainage report dated 5/6/2005 by City Staff.
- 24. Preliminary Drainage Report, dated 5/5/05, prepared by D&M Engineering, dated 5/6/2005 by City Staff.
- 25. Site Plan, dated 5/4/05, prepared by Gould Evans Associates L.L.C, dated 5/6/2005 by City Staff.

CIVIL IMPROVEMENT PLAN REQUIREMENTS:**DRB Stipulations**

26. On May 6, 2005, JMA Engineering has submitted a reapproval request for the civil improvement plans City of Scottsdale Project# 1934-04-2) for Arivest Medical Building, adjacent property to the west. This request includes improvements located in the shared drive aisle. The engineer/developer for Advance Health Care shall coordinate with JMA Engineering (Jay Mihalek, 602-248-0286) and reflect Arivest's proposed improvements in Advance Health Care's final plans.
27. Plans shall be revised to show that the limits of retention basins do not extend inside the PUE.
28. Exist shared driveway access easements between Lots 2 and 3 & Lots and 4 shall be abandoned. These easements are in conflict with the proposed drainage easements and the proposed 1' VNAE.
29. The developer shall submit a request to release a portion of the existing drainage easement along the west property line. The release of drainage easement request shall be reviewed and approved concurrently with the final plan approval process.
30. The proposed double refuse enclosures shall be relocated to the end of the shared drive aisle at the south property line in order to facilitate pick-up and preventing backtracking.
31. The location of underground storage facilities may need to be relocated to avoid conflict with parking lot lighting and other utilities that may be located in the proposed median along the shared drive aisle at the south property line.

DRAINAGE AND FLOOD CONTROL:**DRB Stipulations**

32. The preliminary drainage report is not accepted due to the following reasons:
 - a. The report does not discuss the proposed underground storage and how it works with the proposed drainage basins.
 - b. The Preliminary Grading and Drainage Plan attached to the drainage report does not show how the underground stormwater storage will drain by gravity.
 - c. Total stormwater retention volume provided (Vr) is insufficient and does not meet the total volume required (Vr). Furthermore, the stormwater storage volume provided by the underground storage facilities as shown on the Preliminary Grading Drainage Plan as 6,145 cf appears to be inconsistent with the capacity of the underground storage facilities that consist of eleven 24" pipe, 160 feet long.
33. A final drainage report shall be submitted to correct preliminary drainage report deficiencies. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
34. Basin Configuration:
 - a. Basin side slopes shall not be steeper than 4:1, and basin depths shall not exceed 3 feet.
 - b. A maximum of 50% of the front open space may be used as a retention/detention basin.
 - c. Stormwater Storage on Paved Surfaces. Up to 50% of required stormwater storage may be provided in parking areas when the following conditions are met:
 - d. Storage system shall be designed to store first 30% of required runoff volume off paved areas (to avoid ponding of nuisance water on pavement).
 - e. Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.

Ordinance

- H. On-site stormwater storage is required for the full 100-year, 2-hour storm event. The design of the storage basin capacity shall account for any proposed landscaping improvements. The landscaping improvements within the basins shall not reduce the capacity of the basins under the required volume.
- (1) Basin bleed-off rates shall be set so that the storage basins do not drain completely in less than 24 hours. Storage basins must drain completely within 36 hours.
 - (2) Infiltration of stormwater through the basin floor is not acceptable as the sole means of draining the basin. Stormwater storage basins should be designed to meter flow to the historic out-fall point. Where an historic out-fall point does not exist (or metering is not possible), other methods of discharge such as pumps, etc. may be considered.
 - (3) Stormwater storage basins may not be constructed within utility easements or dedicated right-of-way (exceptions may be granted with written approval from appropriate utility company).
 - (4) Off-site runoff must enter and exit the site as it did historically.
 - (5) All development shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.
- I. With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit a final drainage report and plan, subject to City staff approval.
- J. UNDERGROUND STORM WATER STORAGE. This site is approved to install an underground storage tank to temporarily store and discharge stormwater runoff for this site only. Improvements within the basins shall not reduce the capacity of the basins under the required volume. Underground storage facilities shall be drained by gravity only, and not by pump.
- (1) ACCESS. The underground storage tank shall provide a four-foot minimum diameter manhole for access.
 - (2) RESPONSIBILITY OF MAINTENANCE. Before the approval of improvement plans by city staff, the developer shall provide the Project Quality/Compliance Division with written documentation that states the following:
 - The developer and/or his assigns agree to maintain the underground storm water storage tank in perpetuity.
 - The developer and/or his assigns, the developer's engineer and contractor assume all liability for the design, construction and maintenance of the underground storm water storage tank and hold harmless the City from any such liability.
 - (3) LIMITS OF INUNDATION. The final drainage report shall verify limits of inundation in the event the underground storm water storage tank is in partial and full conditions (not fully drained) when the 100-year, 2-hour storm event occurs. (See item 2 above.)
 - (4) BASIN CERTIFICATION. Stormwater storage basins/tank constructed for this site shall be verified by as-built survey. The volume of storm water storage provided shall be certified:
 - As equal to or greater than design volumes required in the approved final drainage report and on the approved final improvement plans, and shall meet or exceed the required volume per City Ordinance.
 - In writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
 - (5) REFERENCE PERTINENT CODE. The final drainage report shall:

Provide a copy of the Scottsdale Revised Code Section 37-45 in the appendix.

Reference the Scottsdale Revised Code Section 37-45 and emphasize the importance of maintenance for the purposes of public health and safety. (See item 2 above.)

- (6) **SIGNAGE.** The improvement plans shall provide for signage at each end of the underground storage tanks. The sign shall read, " Notice Underground Storm water Storage Tank" The size, color and exact locations to be determined by city staff.
- (7) **TANK DRAINAGE.** A bleed-off line from the underground storage tank to a proposed underground bleed off pipe discharging to the property line shall be provided. Storm water storage tanks should be designed to meter flow to the historic out-fall point. Where no out-fall exists (or metering is not possible), other methods of discharge may be considered.
- (8) **MAINTENANCE.** Underground storage tank is to be cleaned and drained after every rain event.
- (9) **INSPECTION.** Inspection of the underground storage system are required at least once a month and within 36 hours after a major storm. Inspections must be performed by an individual familiar with the onsite equipment such as a plumber.
- (10) **TANK SPECIFICATIONS.** The storage tank shall be water tight with an oil and grease separator. See ASTM specifications for watertight testing.
- (11) **O& M SCHEDULE.** With the improvement plan submittal to the Project Quality/Compliance Division, the developer shall submit an Operations and Maintenance (O & M) Manual. The O & M shall:
 - Identify the owner of the storage tank and the name of the firm or associations maintaining the storage tank. The contact information for the owner the maintenance associations shall list names, addresses, phone numbers and emergency phone numbers.
 - Include provisions for emergency operations due to power failure, pump failure, clogged outlet structures.
 - Include a maintenance log including a maintenance schedule for pump, tank/vault, inlet/outlet structures.
 - Upon request, copy of the maintenance log and a certified Letter of Inspection shall be delivered to the City of Scottsdale.

K. Drywells are not permitted.

L. Street Crossings:

- (1) Watercourse crossings for roads shall be designed to provide for 100-year access to all lots by at least one route. Accessibility will be considered to exist if it can be shown by the engineer that at the time of the peak flow, the depth of flow over the road will not be greater than 1 foot.

DRB Stipulations

- 35. Roadway improvements shall include a 5' (min) sidewalk along 95th Street. This sidewalk shall match the existing sidewalk located at the north and south of the property.
- 36. Access for the proposed development shall be provided from the shared driveways located between Lots 1 (Arivest) and 2 (southern driveway of Advance Health Care) and between Lot 4 (northern driveway of Advance Health Care) and Lot 5 of the Ironwood Square subdivision, per the approved Ironwood Square Improvement Plans, the recorded Ironwood Square Final Plat, and the proposed replat.
- 37. Relocation of the curb line at southern driveway as shown in the Preliminary Grading Plan shall not alter the driveway configuration which was built by Arivest, in general conformance with City of Scottsdale Standard Detail #2256, Type CL-1, as per the approved Ironwood Square Improvement Plans, the recorded Ironwood Square Final Plat, and the proposed replat.
- 38. The applicant shall obtain a temporary construction and cross access easements from the owner of Arivest (Lot 1) and owner of Lot 5 (adjacent property to the north) to allow construction of the drainage improvements located at the northwest corner of their property and improvements in the shared driveways. Both the temporary construction easement and the cross access agreement shall be private agreements executed between the owners of Lots 1 and 2 & Lots 4 and 5. Drafts of both documents

shall be submitted with the final improvement plans for City staff review and approval prior to recording by the developer.

Ordinance

- M. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.

TRAFFIC SIGNALS:

DRB Stipulations

39. Poles and equipment necessary to upgrade the signal to current standards (including luminaires).

Ordinance

- N. Public street lights shall be installed in accordance with City of Scottsdale Revised Code, Section 48-149. The developer shall be responsible for coordinating a street layout and cost estimate with the utility company. Building permits may not be issued until all street light arrangements (including fee requirements) have been made.

INTERNAL CIRCULATION:

DRB Stipulations

40. The developer shall provide a minimum parking-aisle width of 24 feet.
41. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.
42. The developer shall provide the required bike racks at the main entrance to the proposed building.
43. The developer shall design the dead-end parking aisle in general conformance with the included detail.

Ordinance

- O. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

EASEMENTS AND DEDICATIONS

EASEMENT / DEDICATION	DESCRIPTION
Drainage Easement	At retention basins and underground stormwater storage facilities
Access Easement	To the retention basin and underground stormwater storage facilities
Sight Distance easement	See below
1' VNAE	See Below

DRB Stipulations

44. Sight distance easements shall be dedicated over sight distance triangles.
- Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
 - Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.

45. Vehicular Non-Access Easement:

- a. Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontage on 95th Street except at the approved driveway location.

46. Indemnity Agreements:

- a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

Ordinance

P. Drainage Easement:

- (1) Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 25 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all stormwater storage basins. All drainage and flood control easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.

Q. Waterline and Sanitary Sewer Easements:

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

R. Public Utility Easement:

- (1) An 8-foot wide public utility easement shall be dedicated along both sides of internal streets. The 8-foot wide easements may be reduced or eliminated upon approval of the public utility companies.

REFUSE:**DRB Stipulations**

- 47. Two single or one double refuse enclosures are required for this site. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146-1 for single enclosures and #2147-1 for double enclosures.

48. Enclosures must:

- a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
- b. Be positioned to facilitate collection without "backtracking."
- c. Be easily accessible by a simple route.
- d. Not require backing more than 35 feet.
- e. Not be located on dead-end parking aisles.
- f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

Ordinance

S. Refuse enclosures are required as follows:

- (1) Restaurants: One per restaurant

- (2) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.
- (3) Apartments: One for 0 to 20 units, Two for 21 to 40 units, Three for 41 to 60 units, etc.

- T. Underground vault-type containers are not allowed.
- U. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.
- V. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

WATER AND WASTEWATER STIPULATIONS

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

DRB Stipulations

- 49. Existing water service lines to this site shall be utilized or shall be abandoned by disconnection at the main in accordance with City of Scottsdale Water Operations Department standards.
- 50. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
 - a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
 - b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

WATER:

DRB Stipulations

Ordinance

- W. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

WASTEWATER:

DRB Stipulations

- 51. On-site sanitary sewer shall be privately owned and maintained.

Ordinance

LOCATION & CLEARANCE.

- X. Privately owned sanitary sewer shall not run parallel within the waterline easement.

CONSTRUCTION REQUIREMENTS

DRB Stipulations

As-Built Plans.

- 52. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.
 - a. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
 - b. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet

structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

Ordinance

- Y. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]